

GENERAL NOTES

GENERAL BUILDING PERMIT

Dimensions

All dimensions are to be checked by the builder/subcontractor on site and any discrepancies brought to the attention of the drafts person prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect/drafts person. These drawings are not to be scaled.

Documentation

Read these drawings in conjunction with all architectural and other consultants' documents including the specification.

Building Setout

The building shall be setout by a licensed land surveyor. Do Not build over the title boundary or existing fence line. During the setout if a discrepancy is found in the dimensions or the land survey the builder shall contact the building designer and the land surveyor for clarification.

CONSULTANTS

Land Surveyors Documents

Refer to land surveyor's drawings and subdivision plans for all existing site details including the following, but not limited:

- Title boundary
- Title Dimensions
- Distance to nearest street corner
- Existing fence locations and heights
- Existing site levels
- Easements
- Existing trees and other features such as adjoining buildings, out buildings, trees etc.
- The land surveyor's document's take precedence over the architectural documents for all survey work.

Structural Engineer's Documents

Refer to Engineer's documents for all structural requirements. The structural engineer's drawings take precedence over the architectural documents for all structural and protection work.

Geotechnical Report

Refer to the Geotechnical report for all geotechnical information. The geotechnical report takes precedence over the architectural documents for all geotechnical work.

Civil Engineer's Documents

Refer to Engineer's documents for all civil requirements. The civil engineer's drawings take precedence over the architectural documents for all civil work.

Mechanical Engineer's & A/C Contractor's Documents

Refer to Engineer's & A/C Contractor's documents for all mechanical ventilation and air conditioning requirements. The Mechanical Engineer's and A/C Contractor's drawings take precedence over the architectural documents for all mechanical ventilation and air conditioning work.

Energy Rating Reports

Refer to energy rater documents for all requirements. The energy rating reports take precedence over the architectural documents for all work.

SITE PREPARATION

Protection Works

Carry out all protection works in accordance with engineer's documents and recommendations (refer specification). The builder shall be responsible for the protection of the adjoining properties and construction works. And shall replace any damaged work without cost to the proprietor. The builder shall maintain the site in a clean condition by removing waste materials at regular intervals. Ensure that no waste material is dumped on adjoining properties.

Demolition and Site Clearing

Do not proceed with demolition and site clearing work until all demolition and tree removal permits have been obtained. Carry out all works in accordance with permits. Remove all building materials, including in-ground building services. At completion of works the site shall be clean and safe. Do not leave any building material on site. All fill required shall be clean fill to comply with engineer's documents.

Trees and vegetation

Remove trees and vegetation only as noted on permit to be removed have been approved. Gr material. Refer planning drawings and conditions for street works.

Excavation

Excavate as required for the construction work documents. Comply with the recommendations.

Shoring

The builder shall allow providing shoring to the environment and to retain the sides of all excav engineer's documents and geotechnical report.

Crossover

Construct the new crossover to the satisfaction of crossovers as specified.

Street Footpath and Roadway

Make good neighboring footpaths, kerbs, channels and construct the new footpath, kerbs, channels and roadway to the satisfaction of the responsible authority.

Nature Strip

Make good and prepare the new nature strip to the satisfaction of the responsible authority.

Termite Control General

Provide termite barriers that comply with AS 3660.1. and provide a certificate/ guarantee to prove that the work has been carried out.

Termite Control: Timber

Provide termite barriers that comply with as 3660.1. and provide a certificate/guarantee to prove that the work has been carried out. Termite control Timber: Only use termite resistant timbers to touch the ground as per Australian standard.

Non-Resistant Timbers: Preferably use timbers that are slightly termite resistant as per Australian standards. Where non-resistant timbers are used, they should be away from the ground with a min. inspection zone area. Refer to Australian standards.

Ant Caps: Ant caps can be used with timber stumps.

Subfloor structure: All piers and subfloor masonry to be fully strip shielded to As 3660.1. Where subfloor clearance does not allow for inspection (see as 3660.1) Provide full under floor granitgard barriers.

Termite Control: Concrete

Where required, termite treatment to comply with BCA Part 3.1.4 not 3.1.3 and in accordance with AS 3660.1. and provide a certificate/guarantee to prove that the work has been carried out.

Granitgard with Slab

Penetrations: Ensure that all penetrations are protected to manufacturers/installers recommendation and guarantee.

Perimeter Treatment: Provide perimeter barriers to manufacturers/installers recommendation and guarantee. Check that any areas of contact with non-termite proof materials are separated by a min. inspection zone as per Australian standards where any clashes, notify architect immediately.

Control/Pour Joints: Ensure that all pour joints are treated to manufacturers/installers recommendation and guarantee. Note that control/pour joints should be clean.

Quality & Strength of concrete: Slabs to meet as 2870 & as 3600 and be vibrated where appropriate. Where sub floor clearance does not allow for inspection (see as 3660.1) provide full under floor granitgard barriers.

SERVICES

Services

Supply and install all services as required to the satisfaction of the responsible authorities, refer to all construction works documents for services required. Confirm supply pipe sizes required prior to installation.

Meters

Supply and install gas, electrical and water meters, as required to the satisfaction of the relative responsible authorities. Location indicated on the architectural plans is indicative only/refer to service engineer's drawings. Gas and water meter to be mounted behind front fence facing the street.

OQQ16JQQES 4 Aug 2021

Assessor

Kajal Anand

Accreditation No.

DMN/18/1882

Address

17 Dewhurst Circuit
Cranbourne East
VIC 3977



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the box so it is flush with the face of

ed detail and to suit A4 size
tect/refer drawings and specification.

icity supply in the street. Provide
all be to satisfaction of the responsible

l to meet demand.

the front fence to each house to allow
for the installation of cable T.V. and optical fibre cabling. Supply and install wiring to all points marked throughout each house.

Barbecue: Gas Supply – T.B.C.

Provide direct connection to the natural gas supply as shown on plan. Conceal all pipe work and locate the connection point the required distance by regulation from connection point the required distance by regulation from the nearest window (confirm location of point with architect and client)

Sewer

Connect property to existing sewer point if it is in an appropriate position. If not, make new connection. Refer service engineer's drawings.

Water Supply

Connect property to existing water mains. Refer service engineer's drawings.

Gas Supply

Refer service engineer's drawings.

DOMESTIC NOTES

1. The site shall be adequately fenced off during construction to prevent public access.

2. No part of the building shall project beyond the boundary line, i.e. ; including moulds, architectural features and the like.

3. The premises shall be treated for termite protection using a chemical barrier in accordance with AS 3660.1-2014. Alternatively physical barriers may be adopted, such as ant caps or grantigard. If adopting ant caps ensure there is sub floor clearance of 400 mm.

4. Eaves with 900mm (but no closer than 450mm) of the boundary shall be constructed using non combustible materials.

5. Eaves exposed to within 450 of the boundary shall be protected by either a wing wall or corbelled brickwork.

6. Rainwater heads, fascias, gutters, downpipes and the like within 450mm of the boundary shall be constructed of non combustible materials.

7. Flues, chimneys, pipes, domestic fuel tanks, cooling or heating appliances or other services must not be built within 450mm of the boundary.

8. Openings in external walls within 900mm from the side facing the boundary require to be protected, i.e.; windows shall be fixed, fire rated windows no less than -/60/-;

9. Open able windows within 1 metre of the finished floor level shall be restricted so that the openings do not permit a 125mm sphere to pass through it, if the fall is greater than 1 metre from the natural ground level.

10. The door to a fully enclosed sanitary compartment shall open outwards, side or be readily removable from the outside of the compartment, i.e; removable hinges.

11. The stumps are required to be brace in accordance with as 1684-1992, if the height of the stump from natural ground level to the underside of the bearer excess the ratio of 15 times the width of the stump, i.e; a 1 100 X 100 stump has a maximum height of 1500mm.

12. Vertical articulation joints shall be provided in straight, continuous walls (having no opening)at no more than 6m centers and located no closer than the height of the wall away from corners. Where openings more than 900 x 900 mm occur, then articulation joints are to be reduced to 5 m centers and positioned in line with at least one edge of the opening. Furthermore, articulation joints should be provided at or near changes in foundation soil, at deep rebates for service pipes, where walls change in thickness and between new and old brickwork. Vertical articulation joints shall be provided in straight, continuous walls (having no opening)at no more than 6m centers and located no closer than the height of the wall away from corners. Where openings more than 900 x 900 mm occur, then articulation joints are to be reduced to 5 m centers and positioned in line with at least one edge of the opening. Furthermore, articulation joints should be provided at or near changes in foundation soil, at deep rebates for service pipes, where walls change in thickness and between new and old brickwork.

13. Sub floor ventilation shall be provided at a rate of 7300 mm2/m, where the minimum sub floor clearance is 150 mm.

14. Smoke detectors shall be a BRK 86 RAI 240V self contained smoke alarm or the equivalent to be connected to the consumer power mains in accordance with as 3786. where more than one smoke detectors, the detectors are to be interconnected.

15. The wall surface of a shower enclosure shall be impervious to water to a height of 1.8m above the floor and immediately adjacent or behind a bath, basin or sink to a height not less than 150mm above the fixture.

16. All glazing shall be in accordance with AS 1288-2006 wherein, glazing within 500mm of the floor level shall be 5mm thickened annealed, glazed doors and associated side panels shall be 5.38mm laminated safety glass and bathroom windows within 1.5 m of the bath or 500 mm from the shower enclosure shall be 3mm toughened safety glass.

17. Stairs (other than spirals) shall be constructed in accordance with the following:

Risers (R)- Max. 190 mm and min. 115mm
Going (G) – max. 355mm and min. 240mm
Where 2R+G- Max. 700mm and min. 550mm.

18. A landing not less than 750mm wide shall be provided where the sill of a threshold of a doorway opens on to a stair that provides a change in floor level or floor to ground level greater than 3 risers or 570mm.

19. The height of a balustrade shall be no less than 1000mm above the floor level, balcony or landing and 865mm above the nosing of the stair tread. The spacing of balustrades either vertically or horizontally shall not be more than 125mm.

20. The chimney or fuel shall extend 300mm above any part of the building within a horizontal distance of 3.6m.

21. The earth shall extend 300 mm beyond the front of the fireplace and 150mm beyond each side of the opening. If the flooring is combustible the hearth must be situated 150mm above the floor.

22. Where an energy efficiency report was required, the thermal insulation installed must comply with the report.

23. For new dwellings constructed to achieve 6-stars, a solar hot water system or reticulated rain water tank for toilet flushing must be installed in accordance with practice note 55 issued by the building commission.

24. Laundries, bathrooms, ensuites and powder rooms that are not naturally ventilated, shall be provided with mechanical ventilation.

25. The storm water discharge shall be connected to the existing legal point of discharge.

26. The ground beneath the suspended floor must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building. Alternatively, agricultural pipes shall be provided beneath the building to drain ponding surface water. Surface water must be diverted away from a slab-on-ground, so that the adjacent external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than 50mm over the first 1m from the buildings.

27. All buildings constructed must not occupy more than 60% of an allotment and not more than 80% of the allotment can be covered by impermeable surfaces.

28. Safety pool fencing shall be in accordance with AS 1926.1 wherein a suitable barrier shall be provided at a minimum height of 1.2m and vertical balustrades are spaced at no greater than 100mm. The gate shall be hung so that it swings away from the pool area and also be at a minimum height of 1.2m, self closing and the self-latching or self-locking device shall be located at least 1.5m above the floor level. The perimeter paling fencing shall be treated so that the rails are beveled on a 60 degree angle to prevent children from climbing over the fence. Furthermore, ensure all perimeter pool fencing has a 1200 mm clear span from climbable objects, i.e.; a retaining wall.

BUILDING PERMIT

ALL EAVES WITH
IN 450mm FROM
ISSUED 15/08/2021
NUMBER BS-L 40110
MUST BE 60 MIN
FIRE RATED

RELEVANT BUILDING SURVEYOR
Peter Lalor
BS-L 40110
TERMITE PROTECTION REQUIRED

400 mm
LANDSCAPE
STRIP

ZERO LOT LINE

97° 53'



OQQ16JQQES 4 Aug 2021

Assessor
Accreditation No.
Address

Kajal Anand
DMN/18/1882

17 Dewhurst Circuit
Cranbourne East
VIC 3977



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EXISTING CROSSOVER
ALL DOWN PIPES TO
BE CONNECTED TO
APPROVED LEGAL
POINT OF DISCHARGE
TO THE SATISFACTION
OF RELEVANT
AUTHORITY

COLOURED CONCRETE
ALL WEATHER SEALED
DRIVEWAY
TO MATCH LENGTH OF
GARAGE DOOR AND/
TAPER TO MATCH
CROSSOVER

5500

A201 1

12.5m

LB
RW
WM

7° 53'

4000

SUMP WITH
OVER FLOW

CONCEALED
DOWN PIPE

EM GM

1100

97° 53'

27.60 m

1.8m HIGH PALING FENCE

WINDOW

WINDOW

WINDOW

ALFRESCO

DA NOTES:

Dwelling must incorporate plumbing that allows for connection to any future recycled water supply, in accordance with all statutory requirements.

NBN:
Connection to Allanvale's fibre to the home service is mandatory. Refer to www.nbnco.com.au.
For more details on the specific requirements for our home.

WASTE MANAGEMENT

Waste management initiatives and practices are essential during the construction phase of the dwelling. Builders are to include recycling practices where possible, which include but are not limited to:

- The use of skips rather than cages;
- Maintenance of waste records;
- Use of contractors who transport waste to a licensed recycling centre;
- Select materials and products which minimise and/or recycle packaging;
- Maximise the use of standard sizes of materials wherever possible.

Disposal of all hazardous substances, pollutants and contaminants is to be in accordance with all state regulatory requirements. Where these materials are treated or used on site, they must be in accordance with a sanctioned remediation process.

SINGLE STROY DWELLING

1
A202

SIDE AND WING FENCE:

Fencing between lots must be:

- 1.95m above natural ground level
- Constructed with timber posts, a 150mm bottom plinth, and lapped timber palings and timber capping.
- Terminated behind the closest facade wall, unless the fence is on the rear boundary of an adjoining lot. Terminated a minimum of 1m behind the closest front wall of the dwelling or garage (return/wing fence)

Gates

Any gate in a fence must match or complement the fence in terms of materials and finishes.

Letter Boxes

Letterboxes should complement the dwelling in terms of materials, colour and style.
Single post supported letterboxes are not permitted.

NOTE:

BUILDER MUST CONFIRM ALL LEVELS ON SITE

LEGEND:

WM WATER METER
EMELECTRIC METER
GM GAS METER
LB LETTER BOX
RW RECYCLE WATER TAP
CONNECT RECYCLE WATER TO ALL TOILET FLUSHING

NOTE:

Windows and sliding doors to be fitted with weather seals.
Install self closing exhaust fans (with the exception of rangehood).

All measurements to be site checked prior to commencement of works.

"Lift Off Hinges" are required to Toilet Doors.

All Taps located at front of house must be fixed to wall face or fence.

Concrete slab to Engineer's Design and Drawing.
Do not scale drawing.

Note:

Weepholes at Max 1200 mm centres are required in Dwelling brickwork above windows and doors where the window or door exceeds 1 m in width as to (BCA Clause 3.3.5.9)

Note:

A.J.-Provide full height Articulation Joints to brick work at 5000 crs. Max.

Note: 6 star energy rating compliance required.
No Exposed Plumbing

Note: Provide 100mm Conduit under driveway for landscape/irrigation purposes.

Note: Construct house as per bushfire requirements. (BAL 12.5)

Termite Treatment:

Where required Termite treatment to comply with BCA Part 3.1.4

Note:

Connected to 100x50 Colorbond Downpipes to 100 mm Dia UPVC Stormwater Drain with 1 in 100 mm Fall Connected to Legal Point of Discharge as directed by City Engineer's Dept.

Note:

Contractor shall verify all conditions and dimensions at the job site and notify the draftsman of any dimensional errors omissions or discrepancies before beginning or fabricating any work.

Letter Boxes:

"The letterbox must complement and match the dwelling, to the satisfaction of the developer."

The builder must complete all fibre cable entry work in accordance with Opticomm guidelines. Guidelines are available at www.opticomm.net.au

Any television antenna must be located within the house roof or at rear of house.

Site Plan-

1

1 : 100

ERGON DESIGN STUDIO



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NOTE: PLANS ARE NOT TO BE SCALED.



BUILDING PERMIT		02-08-2021
G	BUILDING PERMIT	01-08-2021
F	DA APPROVAL	03-06-2021
E	DA APPROVAL	03-05-2021
D	CLIENT COPY	30-03-2021
C	CLIENT COPY	14-01-2021
B	CLIENT COPY	02-01-2021
A	CLIENT COPY	21-12-2020
No.	Description	Date

PROJECT:

Single Storey House @ Lot 232_17 DEWHURST CIRCUIT, CRANBOURNE EAST

CLIENT:

PRELIMINARY

Drawing Title:

SITE PLAN

NORTH



Scale: 1 : 100 @A3

Date:

DEC 2020

Drawn:

KS

Checked:

UM

Project No.

5072

Drawing No.

A100

Revision:

Area Schedule (Gross...)		
Number	Name	Area
Driveway	Driveway	24.2 m²
Driveway	Driveway	24.2 m²
DWELLING	GROUND FLOOR	157.0 m²
DWELLING	GARAGE	36.1 m²
DWELLING	PORCH	5.2 m²
DWELLING	Alfresco	8.6 m²
DWELLING		207.0 m²
PRIVATE OPEN SPACE	POS	84.7 m²
PRIVATE OPEN SPACE	FRONT YARD	31.4 m²
PRIVATE OPEN SPACE		116.1 m²

LAND AREA	345 SQ
TOTAL	207 SQM
	22.2 SQ
Coverage	60%
Drive way	24.2 sqm
Total Impermeable surface	113.8 SQM
Permeability	32.9%

NOTE:
BUILDER MUST CONFIRM ALL LEVELS ON SITE

LEGEND:
WM WATER METER
EMELECTRIC METER
GMGAS METER
LB LETTER BOX
RW RECYCLE WATER TAP
CONNECT RECYCLE WATER TO ALL TOILET FLUSHING



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PROJECT:
Single Storey House @ Lot 232_17 DEWHURST CIRCUIT, CRANBOURNE EAST

CLIENT:

PRELIMINARY

Drawing Title:

Ground Floor Plan-GENERAL ARRANGEMENT

NORTH



Scale: 1 : 100 @A3

Date:
DEC 2020
Drawn:
K.S
Checked:
U.M

Project No.
5072
Drawing No.
A101
Revision:

OQQ16JQQES 4 Aug 2021

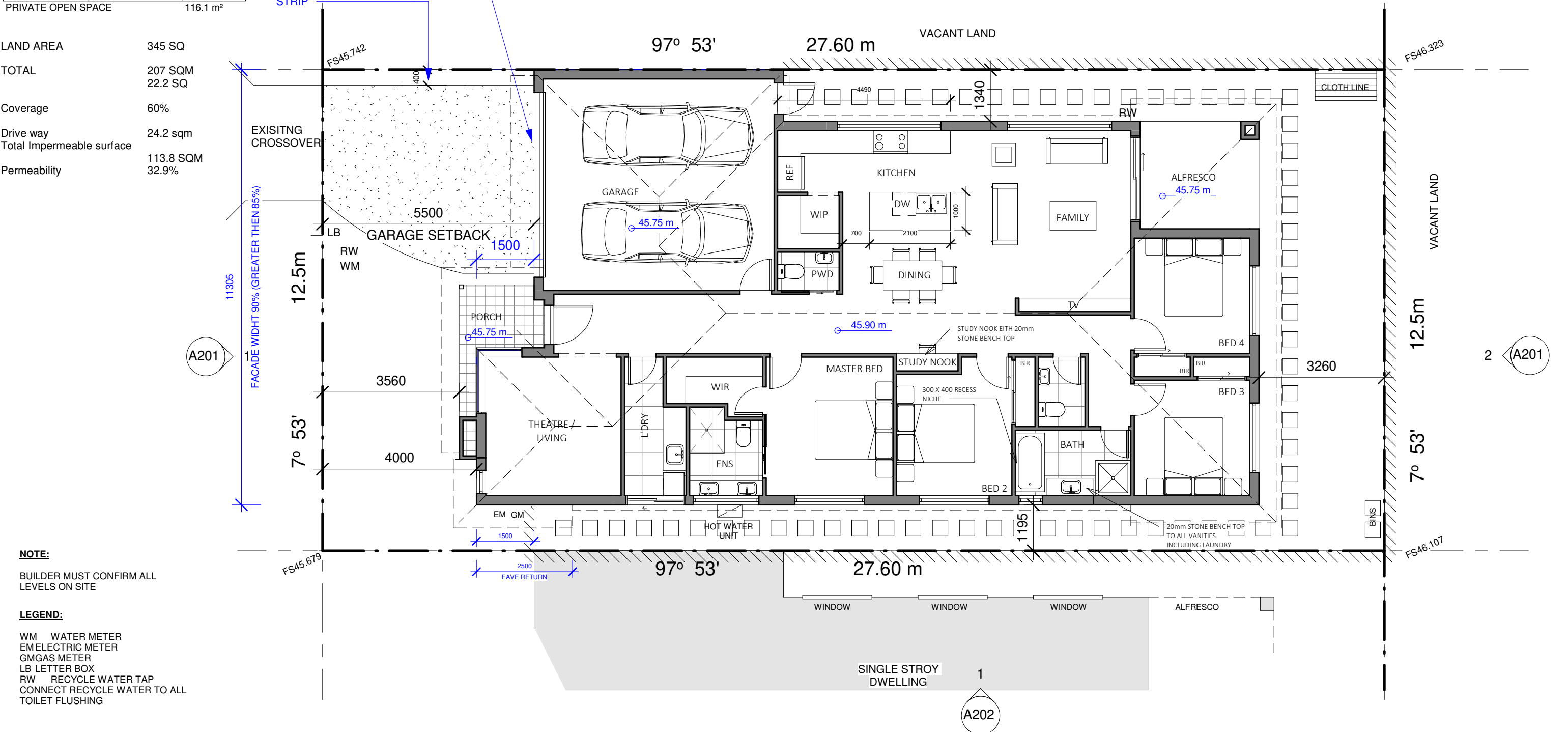
Assessor Kajal Anand
Accreditation No. DMN/18/1882
Address 17 Dewhurst Circuit
Cranbourne East
VIC 3977

<https://www.fr5.com.au/QRCodeLanding?PublicId=OQQ16JQQES>

ors, sidelights, including any of being mistaken for a ning, shall be clearly marked for solid non transparent The contrasting line shall be not wide and shall extend across the glazing panel. The lower shall be located 900mm from r level. Any contrasting line on provide a minimum of 30% ast when viewed against the surface within 2m of the glazing side. of tiles to be in accordance with AS2050-2002. n of damp proof courses to use 3.3.5.7 of Vol 2 of BCA. of damp proof course to comply 5.8 of Vol 2 of BCA.

NOTES-2

- Pliable building membrane must comply with 3.8.7.2
- Flow rate and discharge of exhaust systems must comply with 3.8.7.3
- Ventilation of roof spaces must comply with 3.8.7.4 if exhaust system discharge in to roof space
- Installation Damp-proof courses and flashing to comply with 3.3.5.8 of the BCA
- storm water drainage shall comply with AS3500.3-2018.
- Downpipe dimensions shall be 100mm x 50mm or 90mm diameter.
- Minimum box gutter dimensions shall be 200mm wide x 100mm deep.



BUILDING PERMIT

ISSUED 15/08/2021
NUMBER BS-L 40110-5804027263137

RELEVANT BUILDING SURVEYOR
Peter Lalor
BS-L 40110

TERMITE PROTECTION REQUIRED

ALL EAVES WITH
IN 450mm FROM
TITLE BOUNDARY
MUST BE 60 MIN
FIRE RATED

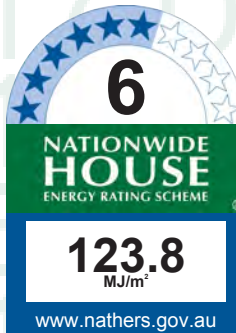
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NOTES-3

- All full glazed doors, sidelights, including any glazing capable of being mistaken for a doorway or opening, shall be clearly marked for their full width a solid non transparent contrasting line. The contrasting line shall be not less than 75mm wide and shall extend across the full width of the glazing panel. The lower edge of the strip shall be located 900mm from the finished floor level. Any contrasting line on the glazing shall provide a minimum of 30% luminance contrast when viewed against the floor surface or surface within 2m of the glazing on the opposite side.
- Installation of roof tiles to be in accordance with AS2049-2002 & AS2050-2002.
- The composition of damp proof courses to comply with Clause 3.3.5.7 of Vol 2 of BCA.
- The installation of damp proof course to comply with Clause 3.3.5.8 of Vol 2 of BCA.

NOTES-2

- Pliable building membrane must comply with 3.8.7.2
- Flow rate and discharge of exhaust systems must comply with 3.8.7.3
- Ventilation of roof spaces must comply with 3.8.7.4 if exhaust system discharge in to roof space
- Installation Damp-proof courses and flashing to comply with 3.3.5.8 of the BCA
- storm water drainage shall comply with AS3500.3-2018.
- Downpipe dimensions shall be 100mm x 50mm or 90mm diameter.
- Minimum box gutter dimensions shall be 200mm wide x 100mm deep.

Note:
waterproofing as
per AS 3740

EAVES FIRE RATED

Eaves and fascia with in 450mm from an allotment boundary must be fire rated to 60 minutes fire resistance, tested from the outside only.

- 2 x 16 mm fire rated plasterboard to the fascia.
- 2 x 13 mm fire rated plasterboard to the eaves.
- Gutter (if any) to be noncombustible.

6-Star Energy Rating Requirements

All external walls (brick veneer or similar) will have R2.7 insulation batts and one layer of antiglare foil (excluding garage).

- Internal walls of bathroom and laundry will have R2.7 insulation batts.
- Internal wall adjoining the garage and the house will have 2.7 insulation batts.
- All roof areas (excluding garage) will have R6.0 bulk insulation at the ceiling level and sarking at roof level.
- The concrete slab on ground for ground will have no insulation.
- All windows (excluding sliding doors) will be single glazed over standard aluminium frames to meet the following total system thermal performance values:
 - U=6.02; SHGC=0.78- for BRD-063-01 A SIG Fixed Lite (67mm) 4Clr.
 - U=6.85; SHGC=0.64- for BRD-081-16 A Signature Awning Window 100 SG 4Clr.
 - U=6.43; SHGC=0.76- for BRD-001-01 A ESS Sliding Window Lite (52mm) 3Clr.
- Sliding doors will be double glazed over standard aluminium frames to meet the following total system thermal performance values:
 - U=3.84; SHGC=0.65- for BRD-063-01 A SIG Sliding door (100mm) 4/6Ar/4.
- All exhaust fans will be provided with dampers or self-closing devices which seal or shut when not in use.
- All windows and doors shall be sealed to minimise air infiltration and all gaps and cracks are to be appropriately sealed through use of caulking, skirting and architraves.
- All new recessed down light fittings that have openings allowing air to pass through to a ceiling cavity (e.g. Adjustable down lights) fitted with an approved unventilated cover that allows for ceiling insulation to closely enclose the sides and top of the down light.

WALL SETOUTS - GROUND FLOOR PLAN -

1 : 100

ERSON DESIGN STUDIO



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No.	Description	Date

PROJECT:

Single Storey House @ Lot 232_17 DEWHURST CIRCUIT, CRANBOURNE EAST

CLIENT:

PRELIMINARY

Drawing Title:

WALL SET OUT PLAN GF

NORTH



Scale: 1 : 100 @A3

Date:

DEC 2020

Drawn:

Author

Checked:

Checker

Project No.

5072

Drawing No.

A102

Revision:

BUILDING PERMIT

ISSUED 15/08/2021
NUMBER BS-L 40110-5804027263137

RELEVANT BUILDING SURVEYOR
Peter Lalor
BS-L 40110

TERMITE PROTECTION REQUIRED



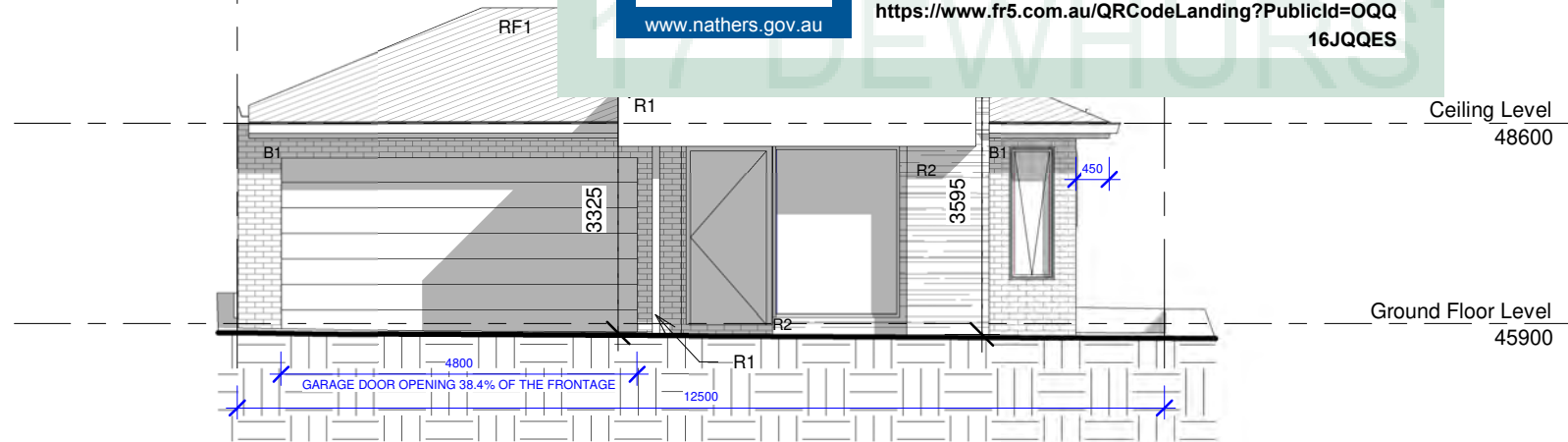
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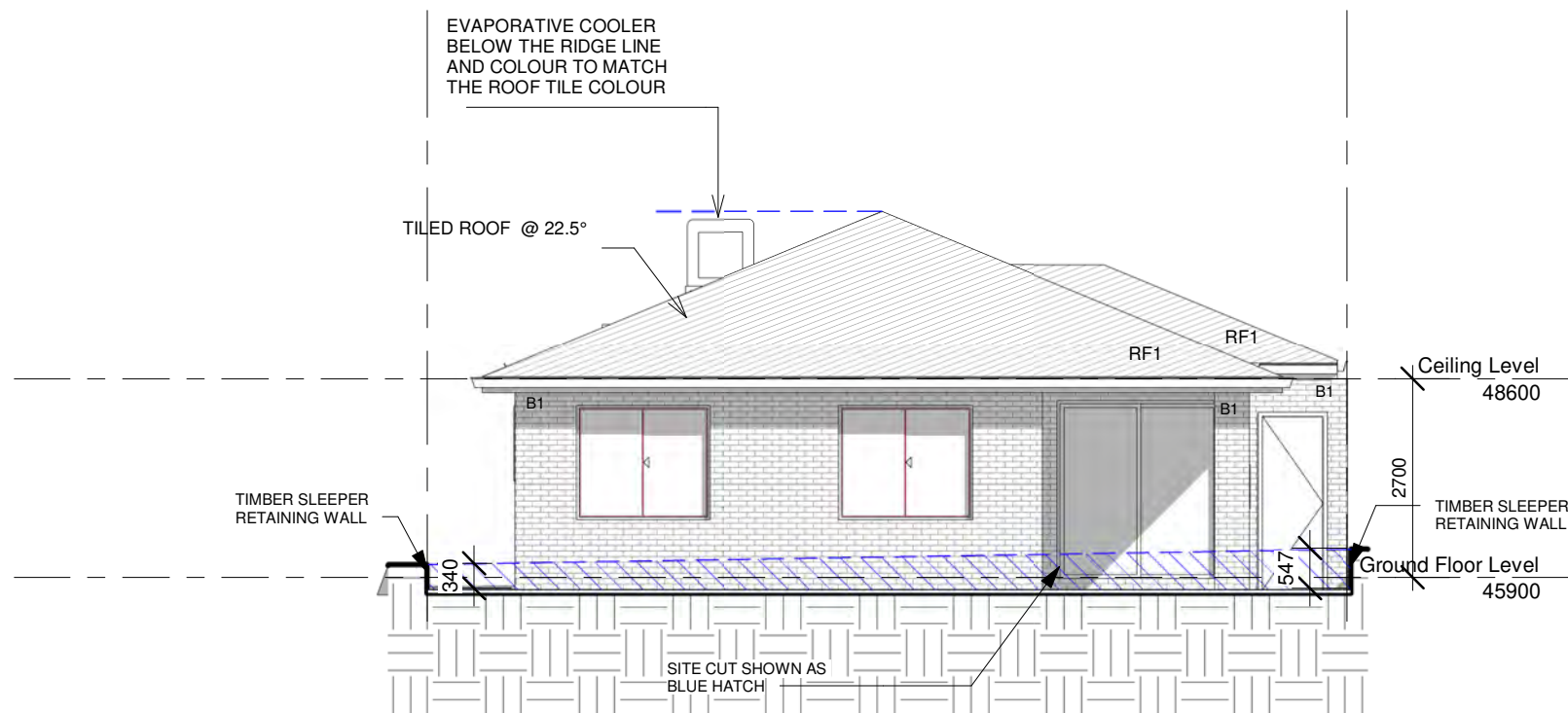
Elevation D

1

1 : 100

FRONT FACE FINISH CALCULATION

TOTAL FACADE ARE EXCLUDIN WINDOW AND DOOR OPENINGS 15.92m²
FACE BRICK AREA 6.7m² 42% (LESS THEN 75%)



Elevation A

2

1 : 100

Note:

All glazing to comply with AS 1288-2006.

Safety glass shall be fitted to

1. All glass doors
2. Side lites within 300mm of doors.
3. Windows within 500mm of floor level.

Note:

Face Brickwork to be tied to Stud Frame. Floor Vents at 7300 mm²/meter.

Brickwork to comply with general compliance- AS 3700 Requirements.

Note:

All external equipment and fixers to be screened from public view.

NOTE:

- NO SLIDING WINDOWS TO THE FRONT FACADE
- NO INFILL OR RECESSED PANELS ABOVE DOORS, WINDOWS OR GARAGE DOORS
- FINISH ABOVE THE OPENING MUST MATCH THE FINISH ON EITHER SIDE OF THE OPENING
- ROOF MATERIALS AND RAINWATER FIXTURES, INCLUDING GUTTERS, FLASHING, FASCIA AND CLADDING, MUST BE MATTE FINISH AND NON-REFLECTIVE.
- EXTERNAL GLAZING THAT IS VISIBLE FROM THE PUBLIC REALM MUST NOT CONTAIN LEADLIGHT, STAINED GLASS, REFLECTIVE GLASS OR PATTERNED FILM.
- ROLL DOWN SECURITY SHUTTERS MUST NOT BE VISIBLE FROM THE PUBLIC REALM.
- GARAGE DOOR OPENINGS DO NOT OCCUPY MORE THAN 40% OF THE WIDTH OF THE PRIMARY FRONTAGE, UNLESS THE BUILDING IS TWO OR MORE STOREYS
- DRIVEWAYS MUST TAPER TO THE WIDTH OF THE CROSSOVER AT THE BOUNDARY.

Note:

All glazing to comply with AS 1288-2006.

Safety glass shall be fitted to

1. All glass doors
2. Side lites within 300mm of doors.
3. Windows within 500mm of floor level.

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G	BUILDING PERMIT	01-08-2021
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C	CLIENT COPY	14-01-2021
B	CLIENT COPY	02-01-2021
A	CLIENT COPY	21-12-2020
No.	Description	Date

PROJECT:

Single Storey House @ Lot 232_17 DEWHURST CIRCUIT, CRANBOURNE EAST

CLIENT:

PRELIMINARY

Drawing Title:

ELEVATIONS-1

NORTH



Scale: 1 : 100 @A3

Date:

DEC 2020

Drawn:

Author

Checked:

KU

Project No.

5072

Drawing No.

A201

Revision:

BUILDING PERMIT

ISSUED 15/08/2021
NUMBER BS-L 40110-5804027263137
RELEVANT BUILDING SURVEYOR
Peter Lalor
BS-L 40110
TERMITE PROTECTION REQUIRED

TILED ROOF@ 22.5°



OQQ16JQQES 4 Aug 2021

Assessor Kajal Anand
Accreditation No. DMN/18/1882

Address
17 Dewhurst Circuit
Cranbourne East
VIC 3977



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Ceiling Level
48600

Ground Floor Level
45900

Ceiling Level
48600

TIMBER SLEEPER
RETAINING WALL

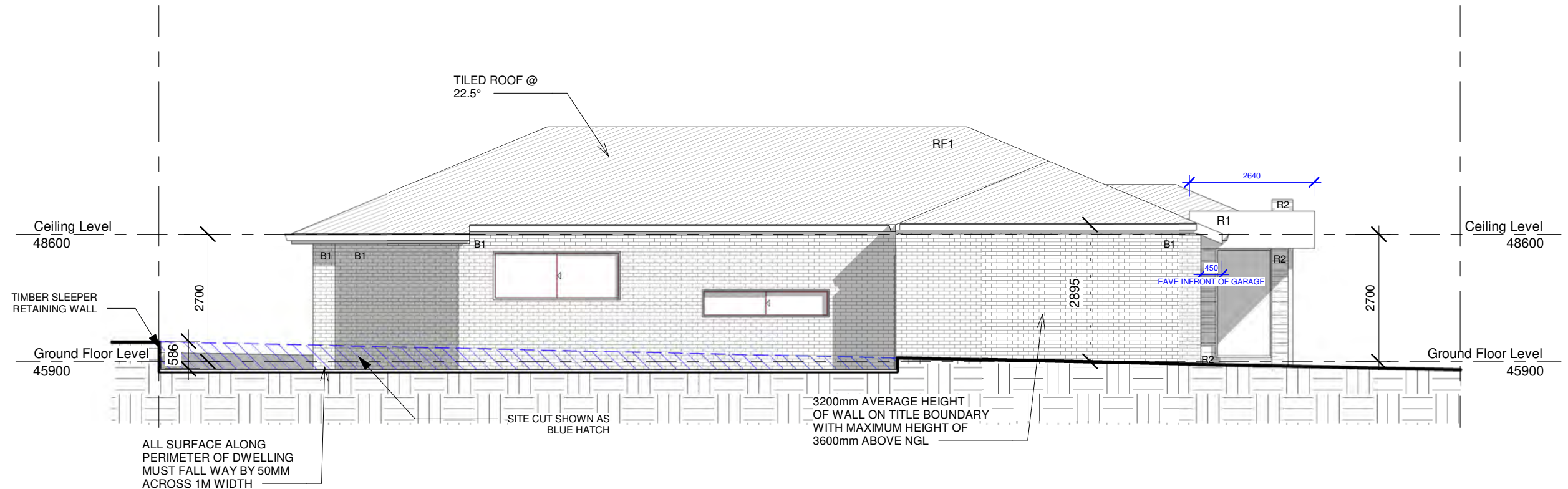
Ground Floor Level
45900

SITE CUT SHOWN AS
BLUE HATCH

Elevation C

1

1 : 100



Elevation B

2

1 : 100

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No.	Description	Date

PROJECT:

Single Storey House @ Lot 232_17 DEWHURST
CIRCUIT, CRANBOURNE EAST

CLIENT:

PRELIMINARY

Drawing Title:

ELEVATIONS-2

NORTH



Scale: 1 : 100 @A3

Date:
DEC 2020
Drawn:
UM
Checked:
KU

Project No.
5072
Drawing No.
A202
Revision:

WALL SURFACE FINISHES
BUILDING PERMIT

ISSUED 15/08/2021
NUMBER BS-L 40110-5804027263137
RELEVANT BUILDING SURVEYOR
Peter Lalor
BS-L 40110
TERMITE PROTECTION REQUIRED

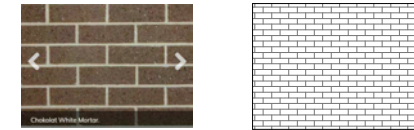
R1

RENDER FINISH SURFMIST COLOUR OR
SIMILAR



B1

FACE BRICK Chokalat Colour - Advance bricks and
pavers



R2

RENDER FINISH MONUMENT COLOUR OR
SIMILAR



OQQ16JQQES 4 Aug 2021

Assessor Kajal Anand
Accreditation No. DMN/18/1882
Address 17 Dewhurst Circuit
Cranbourne East
VIC 3977



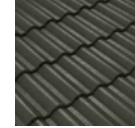
<https://www.fr5.com.au/QRCodeLanding?PublicId=OQQ16JQQES>



FASCIA AND GUTTER MONUMENT



RF1 ROOF TILES WOODLAND GREY



4.8m WIDE GARAGE DOOR
WOODLAND GREY SECTIONAL
PANEL LEFT



FRONT DOOR WALNUT



DRIVEWAY COLOURED CONCRET
CHARCOAL



NOTE:

- NO SLIDNG WINDOWS TO THE FRONT FACADE
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No.	Description	Date

PROJECT:

Single Storey House @ Lot 232_17 DEWHURST
CIRCUIT, CRANBOURNE EAST

CLIENT:

PRELIMINARY

Drawing Title:

FINISHES SCHEDULE

NORTH



Scale: 1 : 100 @A3

Date: DEC 2020
Drawn:
Author
Checked:
Checker

Project No. 5072
Drawing No. A220
Revision:

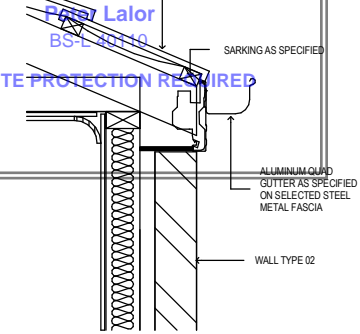
BUILDING PERMIT

ISSUED 15/08/2021
NUMBER BS-L 40110-5804027263137

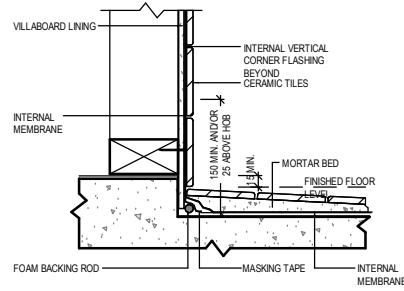
RELEVANT BUILDING SURVEYOR

Peter Lalor
BS-L 40110

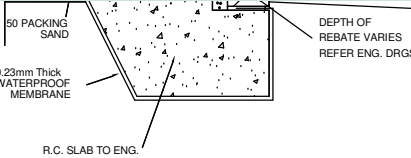
TERMITE PROTECTION REQUIRED



GUTTER DETAIL
SCALE 1:20



TYPICAL WET AREA
SETDOWN DETAIL AT SLAB
SCALE 1:10



WINDOW SILL DETAIL
SCALE 1:20

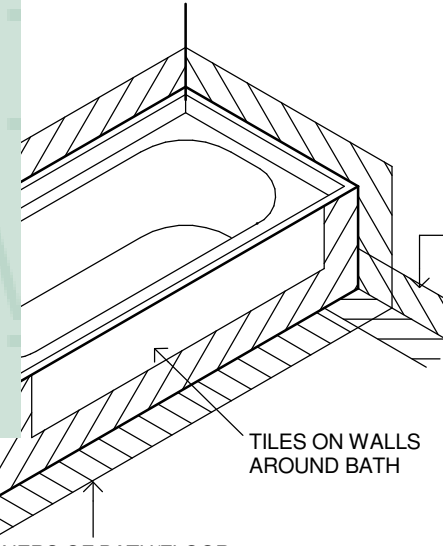
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Assessor Kajal Anand
Accreditation No. DMN/18/1882

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17 Dewhurst Circuit
Cranbourne East
VIC 3977



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75MM HIGH PERIMETER
FLASHING AROUND ALL
WALLS AND CONTINUES
BEHIND BATH

TILES ON WALLS
AROUND BATH

ALL CORNERS OF BATH/FLOOR
AND BATH/WALL TO BE FLASHED
TO A WIDTH OF 150MM

FLASHING REQUIREMENTS FOR BATHS

6-Star Energy Rating Requirements

- All external walls (brick veneer or similar) will have R2.7 insulation batts and one layer of antiglare foil (excluding garage).
- Internal walls of bathroom and laundry will have R2.7 insulation batts.
- Internal wall adjoining the garage and the house will have 2.7 insulation batts.
- All roof areas (excluding garage) will have R6.0 bulk insulation at the ceiling level and sarking at roof level.
- The concrete slab on ground for ground will have no insulation.
- All windows (excluding sliding doors) will be single glazed over standard aluminium frames to meet the following total system thermal performance values:
 - o U=6.02; SHGC=0.78- for BRD-063-01 A SIG Fixed Lite (67mm) 4Clr.
 - o U=6.85; SHGC=0.64- for BRD-081-16 A Signature Awning Window 100 SG 4Clr.
 - o U=6.43; SHGC=0.76- for BRD-001-01 A ESS Sliding Window Lite (52mm) 3Clr.
- Sliding doors will be double glazed over standard aluminium frames to meet the following total system thermal performance values:
 - o U=3.84; SHGC=0.65- for BRD-063-01 A SIG Sliding door (100mm) 4/6Ar/4.
- All exhaust fans will be provided with dampers or self-closing devices which seal or shut when not in use.
- All windows and doors shall be sealed to minimise air infiltration and all gaps and cracks are to be appropriately sealed through use of caulking, skirting and architraves.
- All new recessed down light fittings that have openings allowing air to pass through to a ceiling cavity (e.g. Adjustable down lights) fitted with an approved unventilated cover that allows for ceiling insulation to closely enclose the sides and top of the down light.

Note:

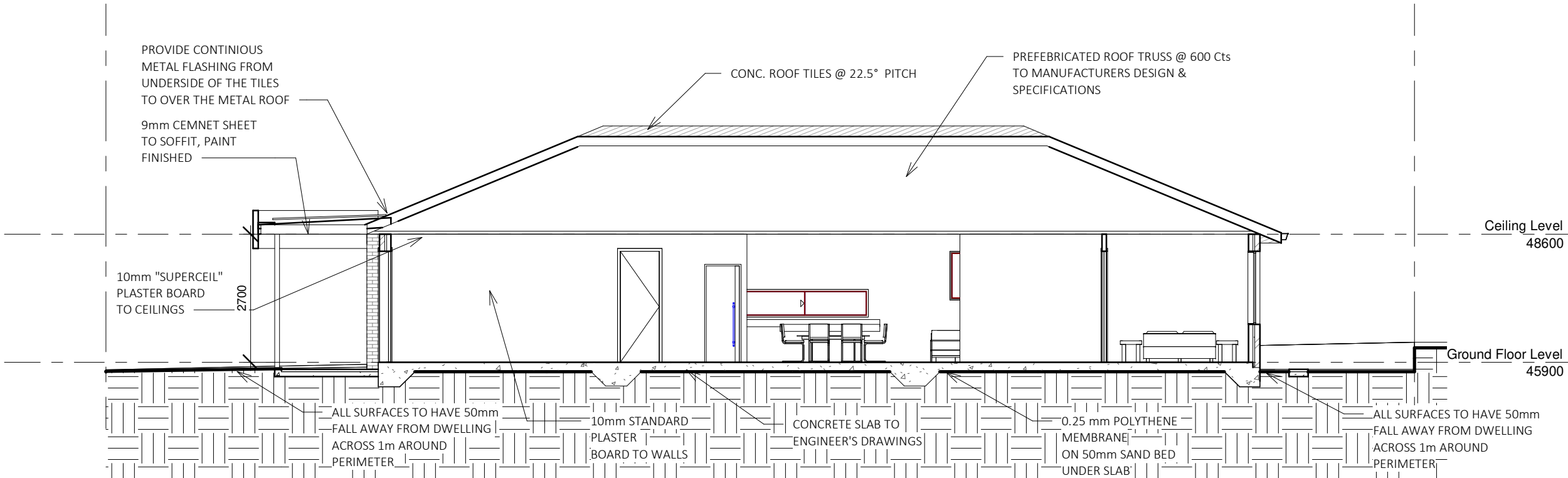
- Concrete slab as per engineer's design and drawings.
- Flooring- ceramic tiles to all wet areas as to AS Standards.
- Plates- 90x45 F5 pine bottom plate
- Pitching plate 2 no. 90x35 F5 pine.
- Internal top plate- 90x35 F5 pine.
- Studs- 90x45 F5 pine at 450 centres.
- Jamb studs- 2/90x45 F/5 Pine.
- Noggings- 70x35 MERCH- ONE row
- Bracing- G.I. angle bracing as required and/ or 2700 x1200 bracing sheet.
- Lintels refer to Engineer's schedule
- Timber truss roof as per manufacturer's specifications at 600 centres.
- Eaves as per details
- Spouting- colorbond quad to be site checked.
- Fascia- colorbond Metal Facia capping.

Note:

Timber to comply with AS 1684-2010

Provide reflective foil to external walls with insulation as per energy report between studs. Line walls and ceiling with 10mm thick plasterboard ready to be painted.

Note:
waterproofing as per
AS 3740



Section 3

1

1 : 100

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No.	Description	Date

PROJECT:

Single Storey House @ Lot 232_17 DEWHURST
CIRCUIT, CRANBOURNE EAST

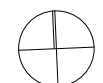
CLIENT:

PRELIMINARY

Drawing Title:

SECTION-1

NORTH



Scale: As indicated
@A3

Date:

DEC 2020

Drawn:

KS

Checked:

UM

Project No.

5072

Drawing No.

A301

Revision:

BUILDING PERMIT

ISSUED 15/08/2021
NUMBER BS-L 40110-5804027263137
RELEVANT BUILDING SURVEYOR
Peter Lalor
BS-L 40110
TERMITE PROTECTION REQUIRED



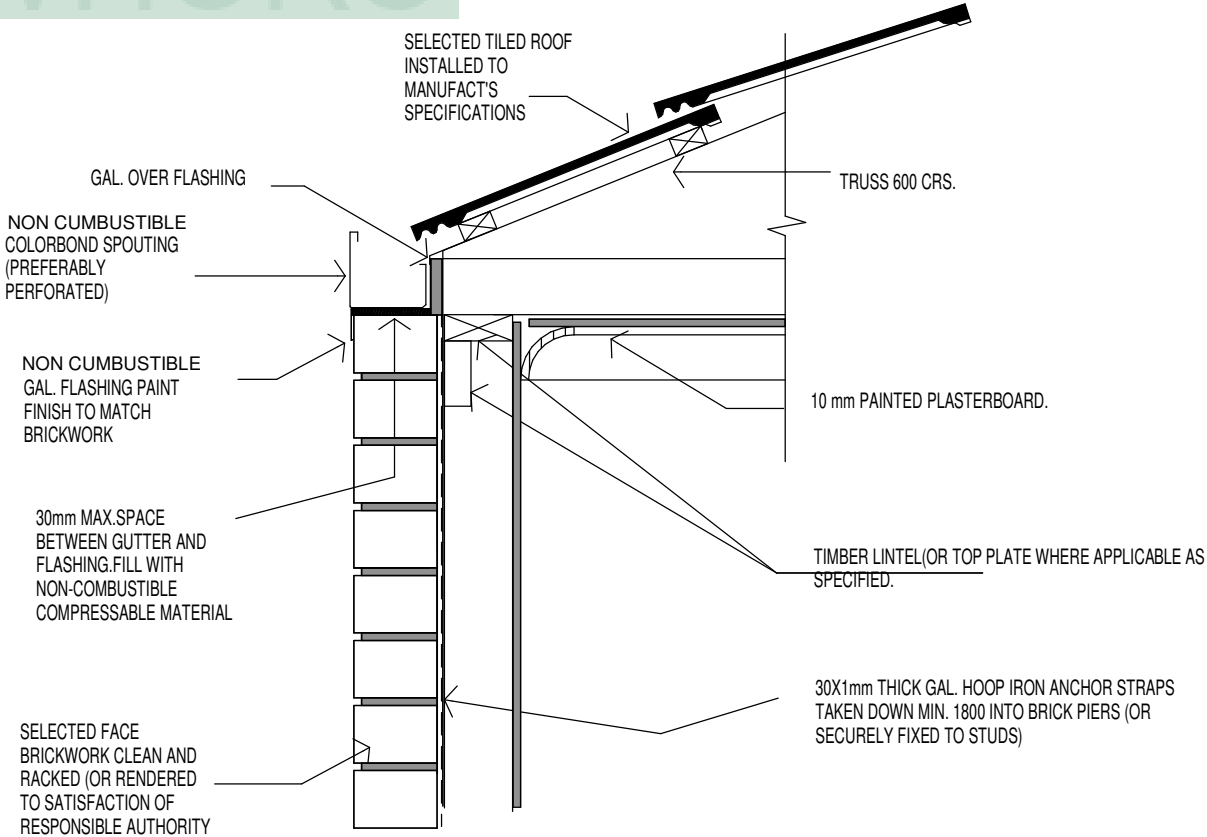
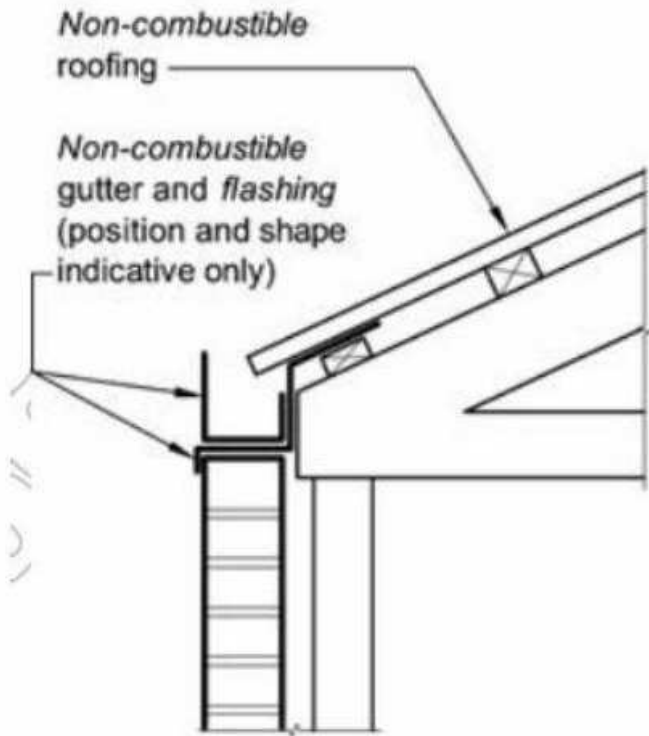
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Accreditation No. DMN/18/1882

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WALL ON BOUNDARY

SCALE 1:10

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No.	Description	Date

PROJECT:

Single Storey House @ Lot 232_17 DEWHURST CIRCUIT, CRANBOURNE EAST

CLIENT:

PRELIMINARY

Drawing Title:

DETAILS

NORTH



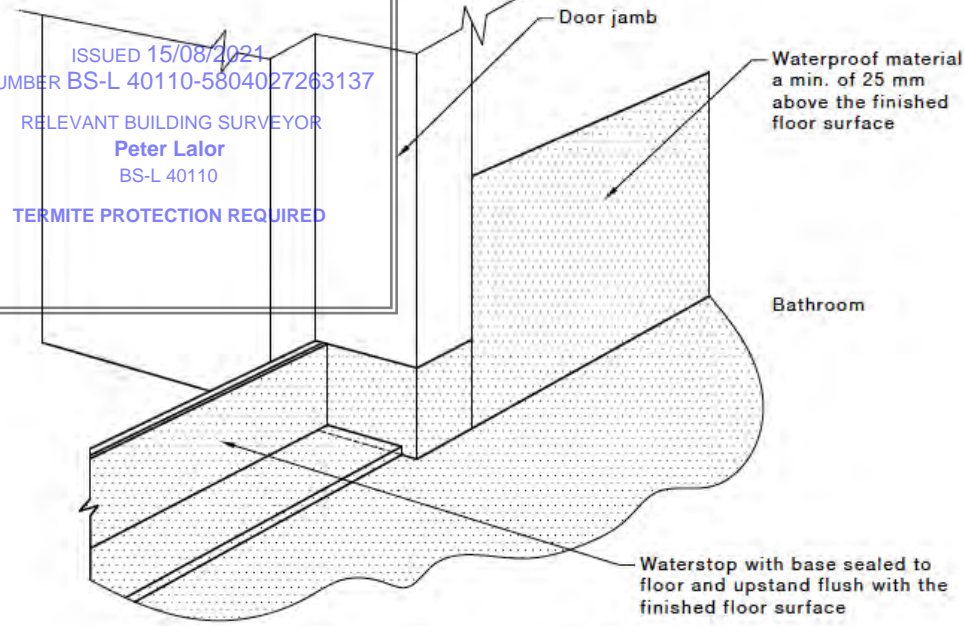
Scale: 1 : 10 @A3

Date: DEC 2020
Drawn: Author
Checked: Checker

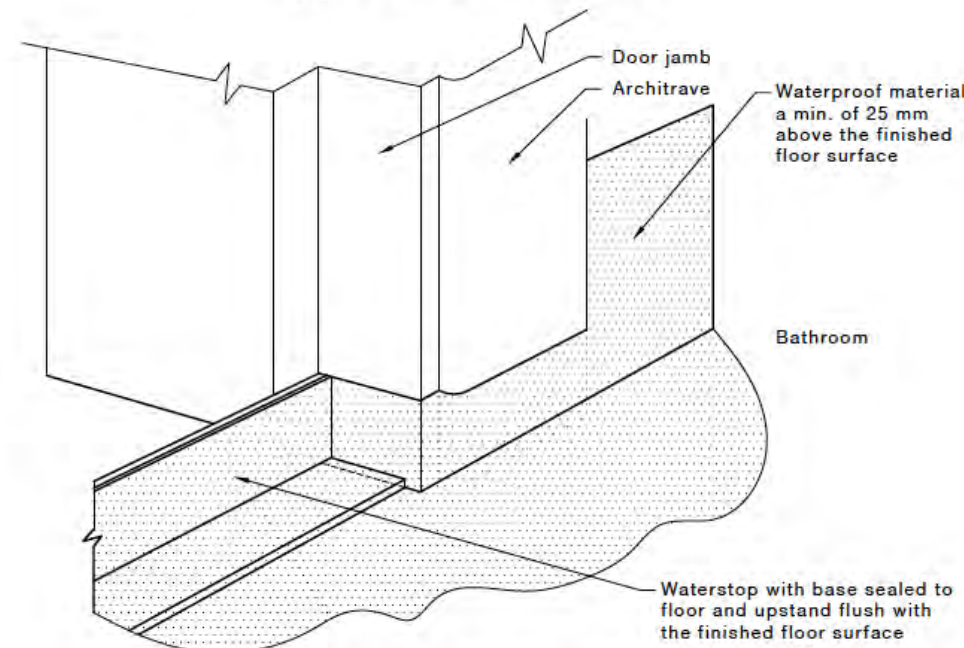
Project No. 5072
Drawing No. A302
Revision:

BUILDING PERMIT

ISSUED 15/08/2021
NUMBER BS-L 40110-5804027263137
RELEVANT BUILDING SURVEYOR
Peter Lalor
BS-L 40110
TERMITE PROTECTION REQUIRED



(a) Prior to installation of architrave



(b) After installation of architrave

FIGURE 3.3 TYPICAL BATHROOM DOOR DETAIL FOR WHOLE BATHROOM WATERPROOFING

6

NATIONWIDE
HOUSE

ENERGY RATING SCHEME

123.8


MJ/m²

www.nathers.gov.au

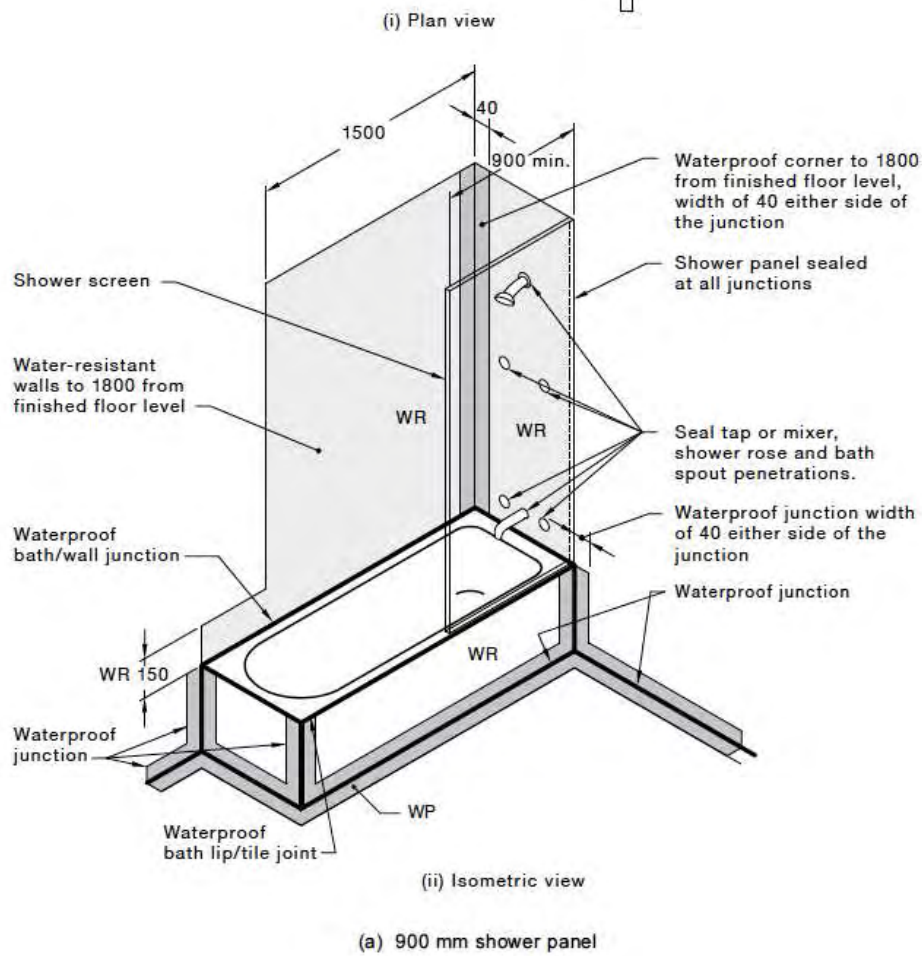
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DIMENSIONS IN MILLIMETRES

FIGURE C2 (in part) UNENCLOSED SHOWERS ABOVE BATHS—AREA PROTECTED FOR CONCRETE AND COMPRESSED FIBRE-CEMENT SHEET FLOORING

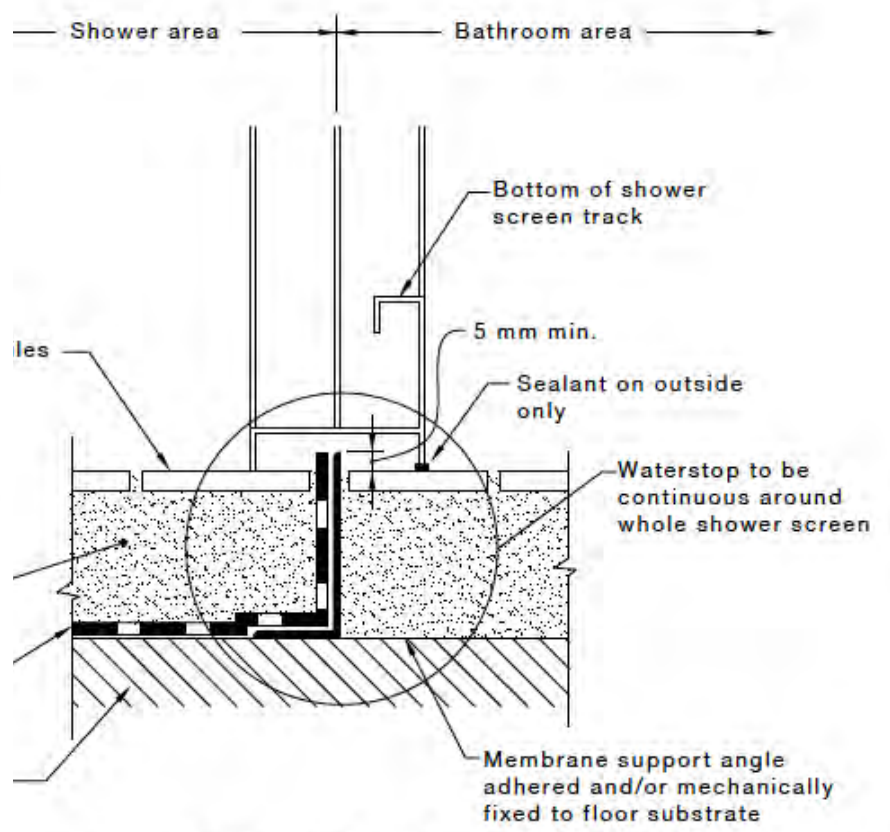


FIGURE 3.6 TYPICAL HOBLESS CONSTRUCTION

BUILDING PERMIT

ISSUED 15/08/2021
NUMBER BS-L 40110-58040272631

RELEVANT BUILDING SURVEYOR
Peter Lalor
BS-L 40110

EXISTING CROSSOVER
TERMITE PROTECTION

400 mm
LANDSCAPE
STRIP

ZERO LOT LINE



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Address

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DMN/18/1882

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Cranbourne East
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PROPOSED SINGLE STOREY HOUSE

T2
12.5m
T3
7° 53'
T3
T2

FS45.679

WING FENCE

97° 53'

27.60 m

12.5m

7° 53'

FS46.107

PLANTATION SCHEDULE

T1 EUCALYPTUS CAESIA -
SILVER PRINCESS

T2 WESTRINGIA FRUTICOSA -
(COASTAL ROSEMARY)

T3 DIANELLA REVOLUTA -
(BLACK-ANTHER FLAX LILY)

NOTE:
Selected tree and its location must not
affect the foundations of the home,
driveway or relevant authority assets.

OUT DOOR SURFACES

GRASS AREA

GARDEN BEDS

PAVERS

Landscape Plan

1

1 : 100

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PROJECT:

Single Storey House @ Lot 232_17 DEWHURST
CIRCUIT, CRANBOURNE EAST

CLIENT:

PRELIMINARY

Drawing Title:

LANDSCAPE PLAN

NORTH



Scale: 1 : 100 @A3

Date:
DEC 2020
Drawn:
Author
Checked:
Checker

Project No.
5072
Drawing No.
A400
Revision: